

April 6, 2021

Mr. Phillip Brennan, Associate Planner
Department of Community Development
City of San Mateo
330 West 20th Avenue
San Mateo, CA 94403-1388

RE: Kiku Crossings Design Modifications

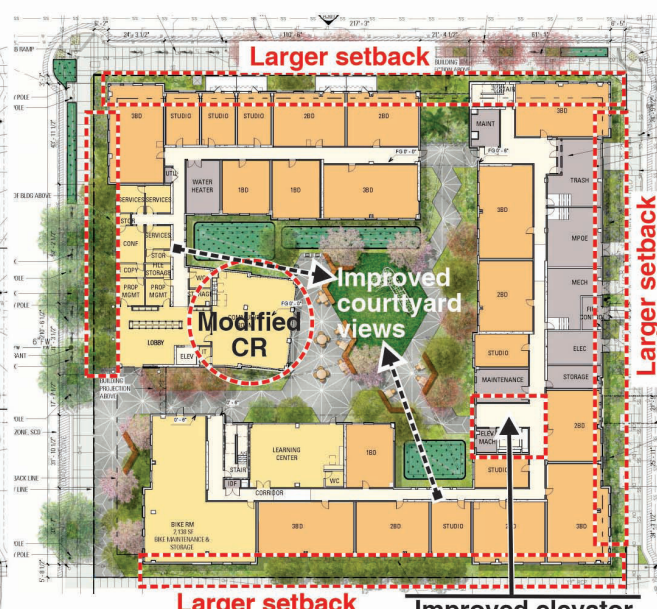
Dear Phillip:

I reviewed the proposed changes to the residential floor plans and elevations. - see comparison illustrations below.
Overall, the changes appear minor in regards to the visual qualities of the project. The important changes noted on the illustrations include:

- Increased landscaped setbacks along all sides of the building.
- An improved elevator lobby which will visually open the interior corridor to views of the courtyard.
- Removal of the Fitness Room, and the reconfiguring of the floor plans below that change..
- Modifications to the Community Room.
- Increased open space area within the courtyard.
- Minor modifications to the window arrangements.
- Minor modifications to the elevations at some building corners.
- Added design detail for the building cornice.



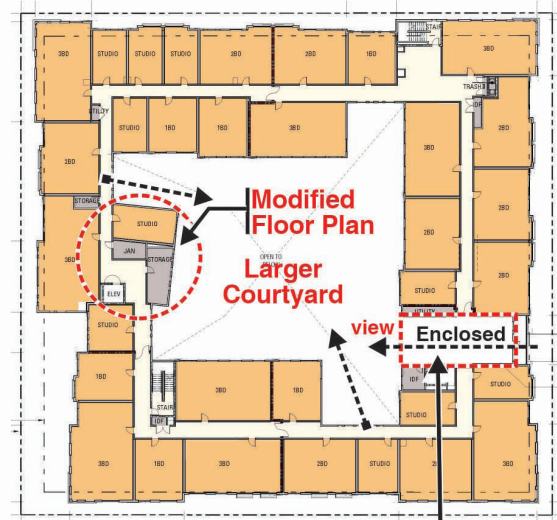
FIRST FLOOR PLAN: ENTITLED



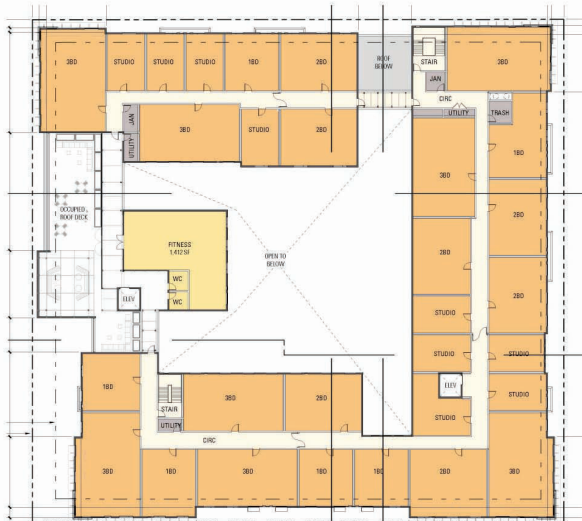
FIRST FLOOR PLAN: PROPOSED



FIFTH FLOOR PLAN: ENTITLED



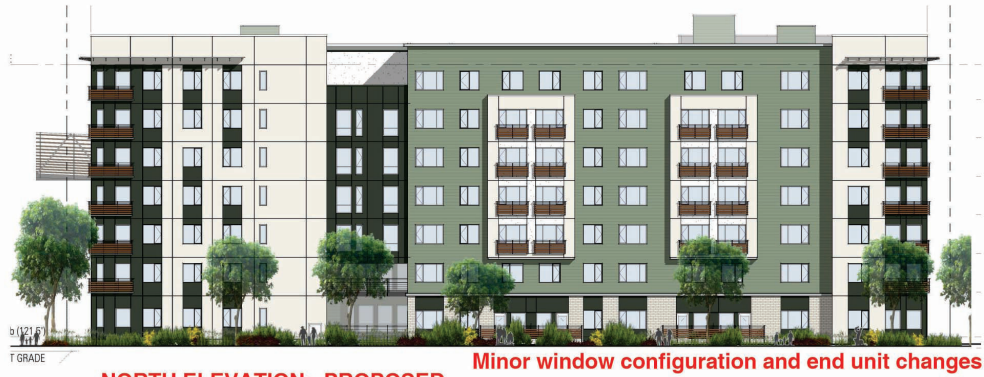
FIFTH FLOOR PLAN: PROPOSED



SEVENTH FLOOR PLAN: ENTITLED



SEVENTH FLOOR PLAN: PROPOSED





Minor window configuration and end unit changes
SOUTH ELEVATION: PROPOSED



SOUTH ELEVATION: ENTITLED



Minor window configuration changes
EAST ELEVATION: PROPOSED

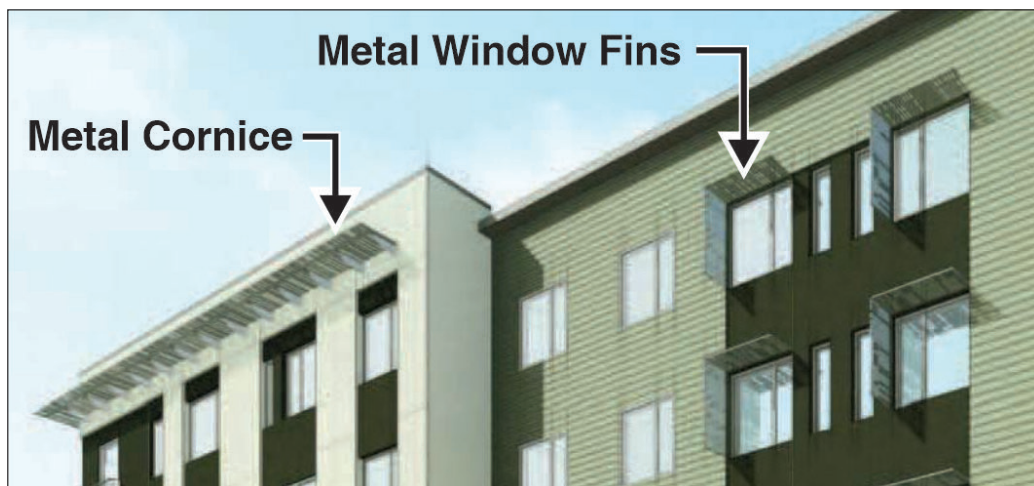


EAST ELEVATION: ENTITLED

Since my initial review of these changes, a couple of new issues have emerged that need some review comments.

1. Building Cornice

Earlier design submittals did not include a cornice element, but the last drawings that I reviewed prior to the Planning Commission review added them to the building corners - see illustrations below.



In their review of the project, the Planning Commission directed staff to include their preference for a more shaped and detailed cornice in the staff report going to the City Council, and that staff come up with a possible condition of approval that could be imposed at the building permit phase, as reviewed and approved by the Zoning Administrator.

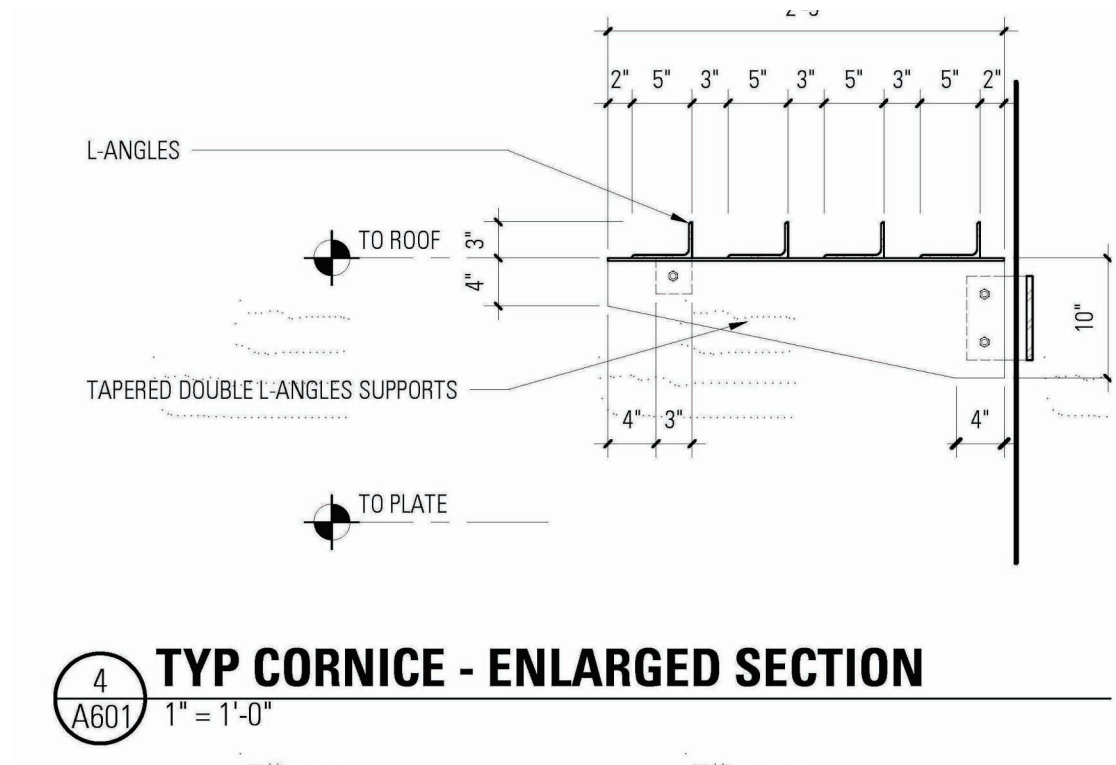
The applicant has responded to staff with a preferred design - shown on the following page. Their explanation for their preferred design includes the following narrative:

Applicant's design description:

The cornice materiality changed to a more robust and contemporary metal frame that compliments the roof trellis and resonates with other building components, namely Juliet balconies and lower level canopies. The dark color of the cornice contributes to its prominence when viewed from street level.

The cornice design allows for exterior building maintenance (aka window washing) lines from the roof to drop through it, so that window washing equipment can achieve the OSHA required 10 ft clearance between the window washing equipment and the high voltage overhead utility lines on 4th Avenue. The depth of the cornice confers to the City requirement that the cornices be within the property line.

APPLICANT'S CURRENT PROPOSED CORNICE

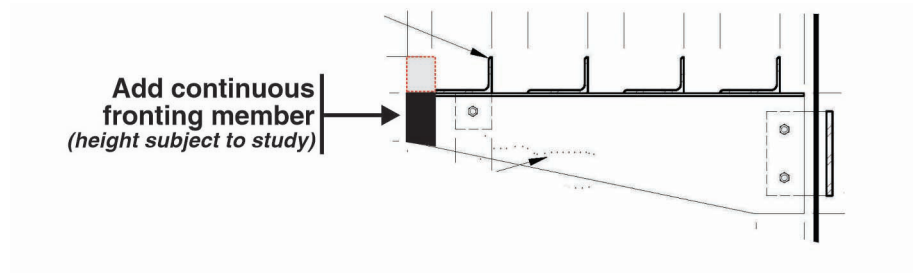


Cornice Details

There are a number of ways that the cornice could be given a more “robust” appearance. I looked at other visual examples in my files, and developed three alternative approaches which might be explored by staff and the applicant. They are illustrated below along with relevant photo examples.

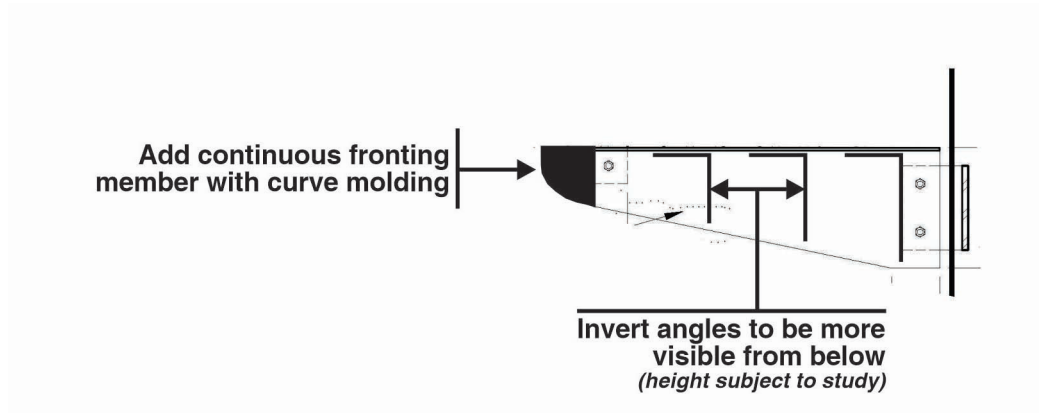
APPROACH A

Add beam element at the front of the cornice to give the cornice a stronger, more prominent horizontal felling



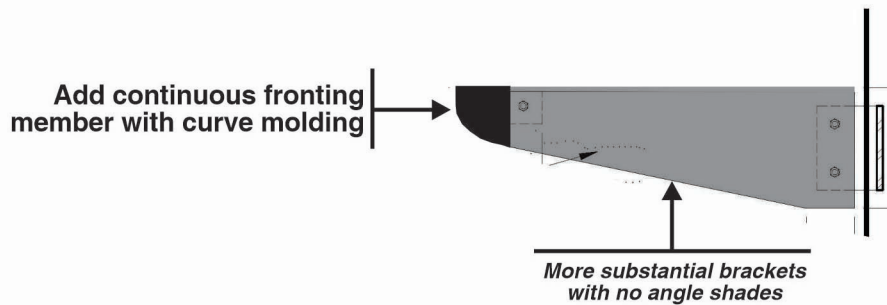
APPROACH B

Add a continuous fronting member with curve molding, and lower cross angles to a location more visible from ground level.



APPROACH C

Add a continuous fronting member with curve molding, eliminate the cross angles, and strengthen the size of the projecting support brackets.



I feel that any of these approaches would move toward addressing the Planning Commission's concern.

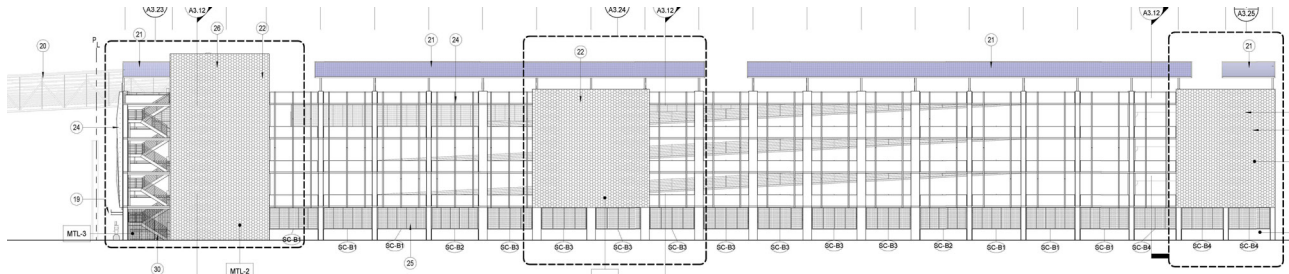
The other consideration would be the color of the cornice element. The applicant suggested in their preferred approach that a dark color was proposed, but that color change was not clear from the illustrations.

2. Parking Structure Facade

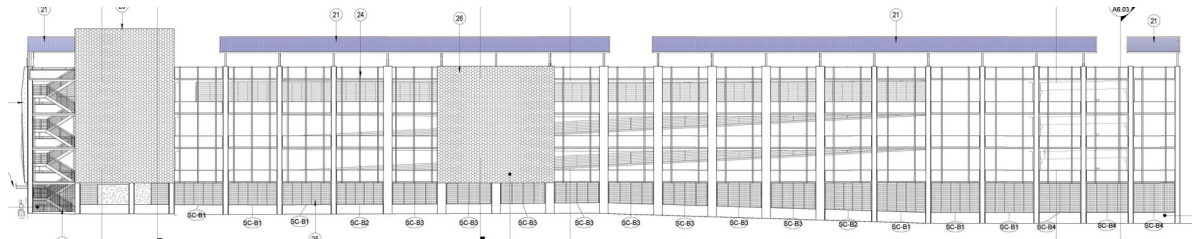
Two concerns have been raised that require some minor modifications to the south facade of the parking structure.

- Potential vandalism to the public art panels at the ground level adjacent to the stairway.
- Potential lack of sufficient exterior facade transparency to allow exterior open air ventilation of the garage rather than more expensive internal garage ventilation.

The proposed south facade changes are shown below.



PARKING STRUCTURE SOUTH FACADE: AS APPROVED



PARKING STRUCTURE SOUTH FACADE: AS CURRENTLY PROPOSED

These changes should not significantly change the appearance of the parking structure.

Overall for the project, I would have no recommendations for changes other than the consideration of options for the building canopies.

Phillip, please let me know if you have any questions, or if there are specific issues of concern that I did not address.

Sincerely,

CANNON DESIGN GROUP

Larry L. Cannon